



ENVIRONMENTAL MANAGEMENT & CONSULTING ENGINEERING

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M. / O.W.M.

June 6, 2007

081-12152-03

JUN -7 P 12:00

Mr. Jeffrey Crawford
Rhode Island Department of Environmental Management
Office of Waste Management
235 Promenade Street
Providence, RI 02908-5767

Subject: Repair Work Scheduled for Springfield Street School Complex, 50 Springfield Street, Providence, RI - Summer 2007

Dear Mr. Crawford:

The City of Providence is planning to repair sidewalks, and other areas affected by settling at the above referenced Site this summer. The Rhode Island Department of Environmental Management (RIDEM) has expressed concern regarding the settling in these areas and requested that repairs be made. Plans for the work have been prepared and bids are being obtained. The work is scheduled to start after the school year ends on June 13, 2007, and will be completed by August 15, 2007.

The bid specifications indicate that the contractor should work above the barrier (in the soil cap) which was installed at the time of school construction. Therefore, all work is expected to disturb only clean fill, and is not expected to disturb the underlying original Site soil. Regrading generally involves raising elevations to compensate for settling which has occurred since the schools were constructed. If conditions are encountered which require disturbing the barrier and underlying soil, RIDEM will be notified, and a plan will be developed to address these areas.

The planned repairs will address the following areas, and are shown on the attached plans:

- The catch basin in the courtyard area of the Middle School: the catch basin will be lowered to allow it to function, and the area around the catch basin will be regraded for proper drainage. Surfaces will be repaved or loam and seeded as needed.
- The concrete sidewalk and ramp on the north side of the middle school: the concrete sidewalks, stairs and ramp will be repaired to correct settling problems.
- The concrete and asphalt walkways on the west side of the Middle School gymnasium: these walkways will be removed and replaced with new walkways which will be graded for proper drainage. Disturbed areas will be restored with loam and seed.
- The concrete and asphalt walkway on the south side of the Middle School near the gymnasium: these walkways will be removed and replaced. Disturbed areas will be restored with loam and seed.



- The southwest corner of the middle school including the area around the transformer: this area will be regraded for proper drainage, the asphalt walkway will be removed and replaced to correct settling, and catch basins will be reset to obtain proper elevations for stormwater drainage. Disturbed areas will be restored with loam and seed.
- The area of settled asphalt west of the elementary school: the pavement will be removed and the area will be filled to regrade the area for proper drainage. A light weight fill material (EPS-12 Geofoam or equivalent) will be used in this area to attempt to limit future settling.
- The bank to the west of the elementary school: the bank will be reseeded as needed.

A report will be provided to RIDEM after completion of the repair work.

If you have any questions or require any additional information, please contact the undersigned at 401-738-3887.

Sincerely,

A handwritten signature in cursive script that reads "Donna Holden Pallister".

Donna Holden Pallister, P.E., L.S.P.
Senior Engineer

cc: A. Sepe, City of Providence
S. Tremblay, Providence School Department

SITE IMPROVEMENTS

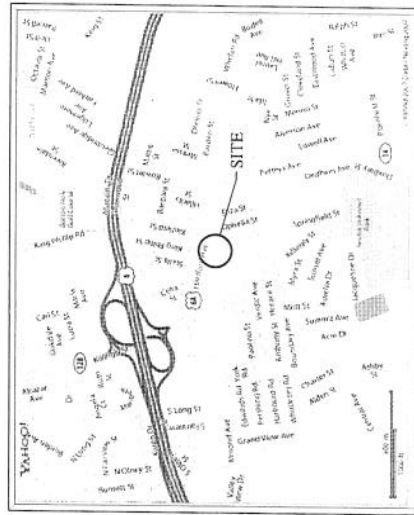
FOR:

THE CARNAVALE ELEMENTARY SCHOOL & THE DEL SESTO MIDDLE SCHOOL

SITUATED ON:
SPRINGFIELD STREET
PROVIDENCE, RHODE ISLAND

PREPARED FOR:

STUDIO JAED
750 SOUTH MADISON STREET, SUITE 200
WILMINGTON, DE 19801



SHEET INDEX

C1	COVER SHEET
C2	GENERAL NOTES & DETAILS
C3	SITE PLAN #1
C3	SITE PLAN #2

LAST

JOB NO. 6472
MAY 18, 2007



PREPARED BY:
GIROFIO
1401 25th Street
Providence, RI 02903
(401) 251-8888

SITE NOTES

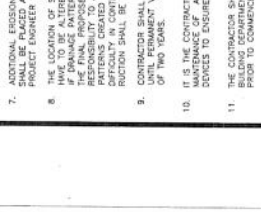
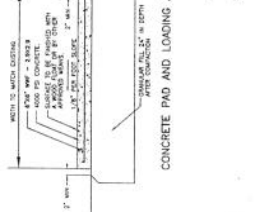
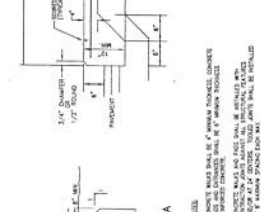
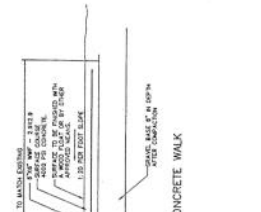
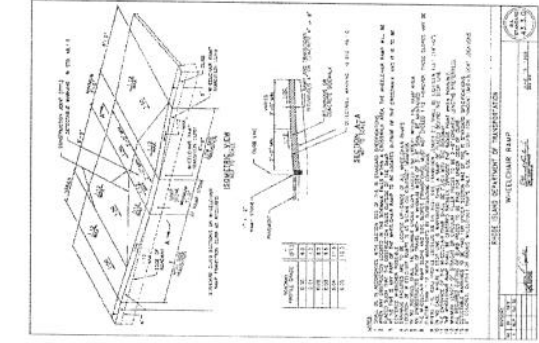
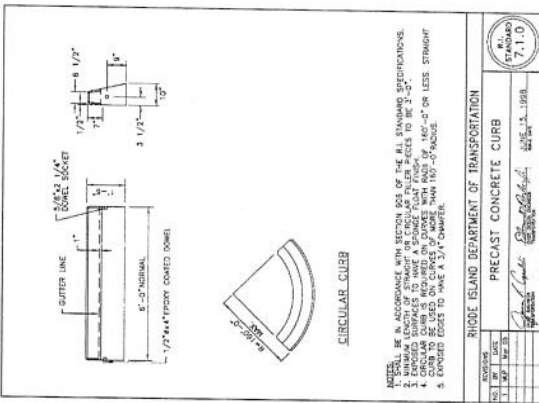
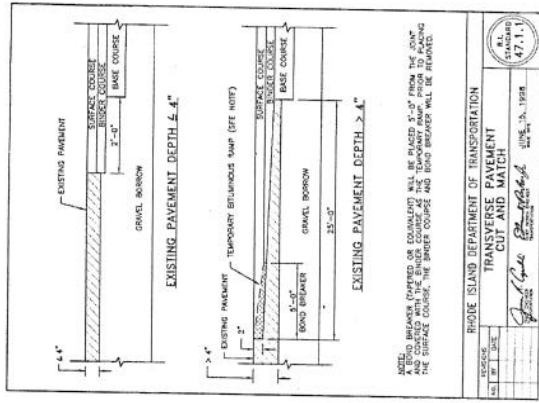
1. ALL CONCRETE SHALL BE CLASS A, 3000 PSI AT 28 DAYS COMPRESSIVE STRENGTH. ALL EXPOSED CONCRETE TO HAVE A FINE BROOM FINISH.
2. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER.
3. ALL DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING OR AS NOTED.
4. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL MEASURES AS MAY BE NECESSARY FOR THE PROTECTION OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION.
5. RAMPS SHALL BE PROVIDED WHEREVER AN ACCESSIBLE ROUTE IS REQUIRED. RAMPS SHALL BE CONCRETE WITH A MINIMUM SLOPE OF 1:20 OR GREATER. THE RAMPS SHALL HAVE A MINIMUM WIDTH OF 36 INCHES CLEAR EXCLUSIVE OF FINISH SIDES AND A MINIMUM RAMP HEIGHT OF 24 INCHES. THERE SHALL BE A HANDRAIL ON BOTH SIDES OF RAMPS. THE HANDRAILS FROM THEIR SURFACE TO TOP OF HANDRAIL SHALL NOT EXCEED 34 INCHES.
6. SIDEWALK CONSTRUCTION SHOWN IN THESE PLANS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF PROVIDENCE, RHODE ISLAND, JULY 1991 TITLE 8, TITLE 11, AND ANY STATE COUNTY LOCAL OR OTHER APPLICABLE LAWS.

GRADING & DRAINAGE NOTES

1. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL MEASURES AS MAY BE NECESSARY FOR THE PROTECTION OF THE PUBLIC THROUGHOUT THE CONSTRUCTION.
2. MAXIMUM SLOPE OF EMBANKMENT SHALL BE 3:0 HORIZONTAL TO 1:0 VERTICAL, OR PER APPLICABLE JURISDICTIONAL REGULATIONS.
3. PROPOSED CONTOURS ARE TO FINISHED GRADE.
4. THE CONTRACTOR SHALL INSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE SYSTEMS AND FOR THE INSTALLATION OF NEW DRAINAGE SYSTEMS AS REQUIRED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
5. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EDUCATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
6. GEORGOLO & ASSOCIATES HAS NOT PERFORMED ANY SUBSISTANCE SITE INVESTIGATION OF SOIL CONDITIONS, AS SUCH OR AS NOT NOTED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COSTS OF ANY INVESTIGATIONS SHOWN HEREIN. THESE INVESTIGATIONS HAVE BEEN PERFORMED TEMPORARILY SATISFY BUILDING CODE & ADA REQUIREMENTS.
7. ALL MATERIALS AND METHODS USED IN THE CONSTRUCTION SHALL BE COMPATIBLE WITH EXISTING MATERIALS. ALL MATERIALS SHALL BE OF A QUALITY AS APPROVED BY THE CITY OF PROVIDENCE, RHODE ISLAND, JULY 1991 TITLE 8, TITLE 11, AND ANY STATE COUNTY LOCAL OR OTHER APPLICABLE LAWS.

GENERAL CONSTRUCTION NOTES:

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES THROUGHOUT THE CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN UNDERGROUND UTILITIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES THROUGHOUT THE CONSTRUCTION.
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BITUMINOUS STANDARD CONCRETE PAVEMENT DETAIL

CONCRETE PADS AND WALKS

CONCRETE PADS AND WALKS

CONCRETE PADS AND WALKS

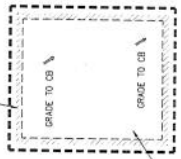
NO.	

PLAN NOTES

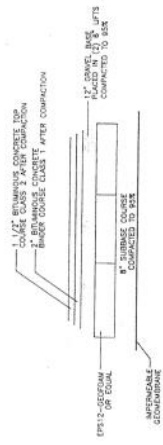
1. GARFALO & ASSOCIATES HAS NOT PERFORMED ANY SUBSURFACE INVESTIGATION OF THE PROPOSED CONSTRUCTION AREA AND IS NOT RESPONSIBLE FOR THE LONG TERM STABILITY OF THE PROPOSED IMPROVEMENTS SHOWN HEREIN. THESE IMPROVEMENTS HAVE BEEN DESIGNED TO APPROXIMATELY MEET THE MINIMUM DESIGN REQUIREMENTS.
2. ALL GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE LINED AND SEED TO GRASS.



REMOVE TO EXISTING GRADE TO BE DETERMINED IN FIELD BY CONTRACTOR



REMOVE BITUMINOUS CONCRETE SUBGRADE REMAIN AS SHOWN IN DETAIL "A"



DETAIL "A"
 BITUMINOUS CONCRETE PAVEMENT DETAIL
 NOT TO SCALE

LEGEND (not to scale)	
EXISTING	PROPOSED
CHAIN LINK FENCE	—
CONTOUR LINE	—
ELECTRIC HANDHOLE	□
WATER GATE	○
GAS GATE	○
UTILITY POLE	⊕
SPOT GRADE	—
TOP OF CURB	—
BOTTOM OF CURB	—
BIT. CONCRETE CURB	—

